

EXHIBIT A

19.20.040

Overlay zones.

A. Purpose. The purpose of an “overlay zone” is to identify areas where uses allowed in the underlying zone are permitted subject to special regulatory standards to achieve the goals and policies of the Comprehensive Plan. This is accomplished by establishing overlay zones with special or alternative standards as designated by the City’s Comprehensive Plan and this code. Examples include the Town Center, Chambers Creek properties, and the public facility overlay zones.

B. Overlay Zones.

1. Public Facility Overlay (PFO). The public facility overlay (PFO) designation includes properties currently owned or operated by a public entity. Uses in the public facility overlay include but are not limited to fire district and school district properties. The purpose of the public facility overlay is to recognize that public facilities provide necessary services to the community and have their own unique set of circumstances. Factors including size, technological processes, requirements for municipal comprehensive facility planning and budgeting, capital improvement programs, and compatibility with surrounding land uses must be considered when developing public facilities. New, improved and redeveloped public facilities should incorporate buffers and landscaping into their plans to ensure compatibility with adjacent land uses and zones. Sidewalks, open public spaces and public art shall be provided to encourage a pedestrian-friendly atmosphere and connections with public transit stops, schools, shopping, services, and recreational facilities.

2. Town Center Overlay (TCO). The Town Center Overlay Area is located within the Town Center Zone between 35th Street West and 38th Street West. This overlay area will be an urban mixed use neighborhood that is intended to create an integrated residential, retail, park, public open space, and civic development creating an urban village atmosphere. The development in this area should include luxury residential living units including flats, townhouses, lofts and live/work units in several buildings. The buildings would include ground floor retail and commercial uses. A hotel and conference center facilities are envisioned. The civic elements include the City Hall/library civic building, and town square, a public plaza. Parking should be accommodated along the internal streets, in parking garages located below the buildings and on surface parking lots located to the side of or behind buildings. Approximately 20 per cent of the overlay zone would be dedicated as permanent open space/park. A portion of this area is currently designated as Homestead Park. In addition to preserving natural open space, there should be well-defined open space throughout the overlay area, with articulated streetscapes, landscaping, and other pedestrian features.

3. Chambers Creek Properties Overlay (CCPO). The Chambers Creek ~~Properties~~ Overlay area is an area of land located in the southwest corner of the City that is owned by Pierce County ~~This property consists of a total of 930.700 acres owned by Pierce County in the southwest corner of the City with about 700 acres situated in the City.~~ A master plan was developed over several years with the help of area residents, and was originally adopted by Pierce County and the City in 1997 with an update in 2005. In accordance with the Chambers Creek ~~Properties~~ Master Site plan, the “properties” as they are referred to by Pierce County are currently developed with a mix of public facilities and services including the County’s principal wastewater treatment facility, the County’s Environmental Services Building, active and passive open spaces including Chambers Bay, an 18-hole links style golf course, ball fields, open meadows and an extensive trail system. Future development includes restaurants, a golf club house, lodging, a boat launch, more trails and an off-leash dog area. The development of the Chambers Creek ~~Properties~~ is subject to a joint procedural agreement and design standards aimed at achieving County and City goals and promoting economic development.

19.25.030

Exempt uses.

A. ~~Applicability to Other Chapters.~~ Unless otherwise stated, ~~the uses exempted in this section are also exempted from Chapters 19.50 UPMC, Design Standards for Mixed Use, Mixed Use—Office and Commercial Zones, and Chapter 19.85 UPMC, Discretionary Land Use Permits.~~

~~B. Uses Exempted from This Chapter.~~ The provisions of this ~~chapter~~ Title shall not apply to the following uses:

1. On site and community septic systems;
2. Stormwater conveyance systems which include features such as gutters, pipelines, culverts, manholes, weirs, manmade and natural channels, water quality filtration systems and drywells;
3. Electrical distribution lines and poles less than 40 feet high and under 55 kilovolts;
4. Sewerage and water conveyance systems which include underground or flush-with-the-ground features, including but not limited to pipes and manholes;
5. Water, oil, and natural gas distribution pipelines;
6. Natural gas distribution lines (as opposed to transmission lines) and necessary appurtenant facilities and hookups;
7. Cable, fiber optic, or telephone transmission and distribution lines, poles and appurtenances less than 40 feet high (not including personal wireless telecommunication facilities; see UPMC 19.25.060, Utilities use category – Descriptions);
8. Streets and linear trails when located in existing rights-of-way; and
9. Fertilizer applications and biosolids applications at or below agronomic rates.

(Ord. 607 § 1 (Exh. A), 2012; Ord. 589 § 1 (Exh. A), 2011; Ord. 443 § 1 (Exh. A), 2005; Ord. 394

Chapter 19.45

DENSITY AND DIMENSION

19.45.100

Density and dimension table notes.

(1) Base Density. These densities may be achieved outright by following the applicable development and design standards.

(2) Mixed Use Development. Multifamily residential development is only permitted in conjunction with a permitted commercial use and subject to applicable design standards.

(3) Maximum density in R1, R2 or specified overlay districts may only be achieved through approval of a small lot development designed in accordance with the "Design Standards and Guidelines for Small Lot and Multifamily Development" adopted pursuant to Chapter 19.53 UPMC. Maximum density in MF-L, MF-H, MU-O, NC or MU districts may only be achieved for a multifamily project that receives Washington State Housing Finance Commission approval for a Low Income Housing Tax Credit (LIHTC) and is designed in accordance with the "Design Standards and Guidelines for Small Lot and Multifamily Development" adopted pursuant to Chapter 19.53 UPMC.

(4) Side and Rear Yard Setbacks. A side or rear yard setback is not required in IB, C, TC, MU, NC, MF-L, MF-H and MU-O zones if the parcel does not abut an R1 or R2 zone. If abutting an R1 or R2 zone, a 30-foot setback is required along the abutting lot line(s), unless the subject parcel is in a transition overlay, in which case a 20-foot setback is required along the abutting lot line(s).

(5) Fifteen feet is a minimum setback requirement. Maximum setback is 20 feet. However, see also design standards (Chapter 19.50 UPMC).

(6) Refer to underlying zone.

(7) Single-family and duplex uses in these zones may, at their option, use minimum setbacks of the R1 zone.

(8) Single-family attached units shall meet all R1 setback requirements except for the common lot line where the side yard setback may be zero feet. The remaining side yard, if not attached, shall be set back eight feet.

(9) Mixed use (MU) zoned properties on the north side of 27th Street West between Grandview Drive and Crystal Springs Road may increase height and density in accordance with UPMC 19.55.080.

~~(10) Density and dimension standards are contained in the Chambers Creek properties design standards and guidelines.~~

(11) Detached one-story garages may be set back a minimum of five feet providing sight distance is maintained.

(12) The front yard setback shall be the distance between the existing house and the railroad right-of-way or 20 feet, whichever is less.

(13) Town Center Overlay Zone Setbacks.

(a) Front Yard. No setback is required from streets except at significant corners where a 20-foot setback is required;

(b) Rear Yard. A rear yard setback is not required if the parcel does not abut a parcel in the R1 or R2 zone. If abutting a parcel in the R1 or R2 zone, a 50-foot setback is required along the abutting lot lines;

(c) Side Yard. A side yard setback is not required. If a side yard setback is provided, a minimum of 10 feet is required.

(14) Within the Town Center overlay zone, structures on the west side of Bridgeport Way shall not exceed 75 feet in height. Between Bridgeport Way and 74th Avenue East, heights shall not exceed 120 feet. East of 74th Avenue West, heights shall not exceed 55 feet. Specific height requirements and exceptions are provided in the Town Center design standards.

(15) Newly created lots shall be of such shape that a circle with a diameter equal to the minimum specified lot width can fit within the boundary of the lot. Minimum lot widths for small lot developments shall be determined through the administrative design review process.

(16) Minimum lot sizes for detached single-family dwelling/duplex dwelling or new lots created through a short plat or conventional preliminary plat/final plat process. Minimum lot size for small lot or multifamily developments shall be determined through the administrative design review process. A legally nonconforming duplex lot existing prior to the effective date of this section may be subdivided into two attached single-family lots, one or both of which may contain less than the required lot area.

(17) Lot coverage refers to the percentage of a lot covered by buildings. For small lot developments, the lot coverage standard applies to buildings, private streets, parking lots, driveways and other impervious surfaces combined.

(18) Review Chapter 19.52 UPMC for additional information regarding setbacks, height, density and design standards for the Town Center zone.

(19) Setbacks for small lot developments shall be in accordance with the "Design Standards and Guidelines for Small Lot and Multifamily Development" adopted pursuant to Chapter 19.53 UPMC.

(20) See the "Design Standards and Guidelines for Small Lot and Multifamily Development" adopted pursuant to Chapter 19.53 UPMC for additional information regarding height limits for small lot developments.

(21) Floor area ratios for small lot development are based on the average for the entire project; FARs for individual lots may vary. See UPMC 19.45.080 for additional information concerning FAR standards.

(22) Only uses included in the Chambers Creek Properties Master Site Plan are allowed in the Chambers Creek Overlay. Residential uses are not included in the Chambers Creek Properties Master Site Plan.

Density and Dimensions Table

Overlay Zones Density and Dimensions (Setbacks)

OVERLAY ZONES	Town Center	Chambers Creek Properties (10)	Public Facility (6)	Transition Properties	Day Island	Day Island South Spit	Sunset Beach
	TCO	CCPO	PFO	TPO	DI	DIS	SB
Base Density (du/ac) (1), (2)	20	0 (22)		(6)	4	4	4
Maximum Density (du/ac)		0 (22)		(6)	6 (3)	6 (3)	6 (3)
Setback, Arterial Streets (10)	0/20	25		(6)	NA	NA	NA
Setback, Other Roads	0/20 (13)	25		25'	20' (11)	0	0/20 (12)
Setback, Rear (4)	0/50 (13)	0		(6)	20'	0	30'
Setback, Side (4)	0/10 (13)	0		(4)	5'	0	5 Total
Height (14)	75/120/55	45		(6)	35'	30'	35'

(Ord. 607 § 1 (Exh. A), 2012; Ord. 589 § 1 (Exh. A), 2011; Ord. 559 § 4 (Exh. A), 2009; Ord. 544 § 1 (Exh. A), 2009; Ord. 514 § 3, 2008; Ord. 470 § 1 (Exh. A), 2006; Ord. 443 § 1 (Exh. A), 2005; Ord. 441 § 1, 2005; Ord. 422 § 2, 2004; Ord. 409 § 7, 2004; Ord. 394 § 1, 2003. Formerly 19.45.080).

19.55.060**Chambers Creek Properties Overlay.**

A. Purpose. The purpose of the Chambers Creek Properties Overlay area is to promote the development of the Chambers Creek properties master site plan. The overlay will allow the City and County to manage the development of the Chambers Creek properties in a way that is most beneficial to the County and community.

B. Standards. The City has adopted the Chambers Creek Properties Master Site Plan, Joint Procedural Agreement and the Chambers Creek Properties Design Standards and Guidelines in this Title to implement the Master Site Plan. These documents are hereby incorporated by reference.

C. Use. The following uses shall be permitted in the Chambers Creek Properties Overlay:

1. Uses and uses commonly accessory to those uses identified in the Chambers Creek Properties Master Site Plan shall be permitted within the overlay area subject to the Chambers Creek joint procedural agreement and the Chambers Creek Properties Design Standards and Guidelines.

2. Essential public facilities, existing on January 1, 2005, located outside the master plan area and permitted in accordance with Chapter 19.40 UPMC.

3. Administrative government offices, ~~subject to a conditional use permit.~~

4. Level 1 public maintenance facilities outside the master plan area.

5. Level 2 public maintenance facilities outside the master plan area subject to a conditional use permit.

6. Uses and activities described in the Chambers Creek Properties Master Site Plan that are not listed as exemptions in the joint procedural agreement may occur without the requirement to obtain a land use permit (e.g., non-conforming use permit, conditional use permit, or special use permit) however, the requirements for building permits, land development permits, and environmental permits still apply. Uses and activities specifically exempted under the joint procedural agreement will continue to occur within the CCPO and may require modification of existing permits and approvals and/or issuance of new permits and approvals subject to the UPMC.

D. Scope of CCPO. The total acreage subject to the Master Site Plan and CCPO provisions in this Title may be increased upon submittal by the County of a formal written notice describing additional, contiguous properties acquired and approval by the City.

(Ord. 607 § 1 (Exh. A), 2012; Ord. 443 § 1 (Exh. A), 2005; Ord. 394 § 1, 2003; Ord. 383 § 1, 2003).

Chapter 19.57

CHAMBERS CREEK PROPERTIES DESIGN STANDARDS

Sections:

19.57.010 Purpose.

19.57.020 Applicability.

19.57.030 Design standards and guidelines adopted.

19.57.010

Purpose.

The purpose of this chapter is to establish design standards and guidelines for the Chambers Creek ~~p~~Properties ~~e~~Overlay to implement the Chambers Creek ~~p~~Properties ~~m~~Master Site Plan. (Ord. 607 § 2 (Exh. A), 2012).

19.57.020

Applicability.

These standards and guidelines apply to all development on the Pierce County Chambers Creek ~~P~~properties that are subject to the Chambers Creek Properties Design Standards ~~and Guidelines~~ in accordance with the Chambers Creek ~~p~~Properties ~~J~~oint ~~p~~Procedural ~~A~~greement. (Ord. 607 § 2 (Exh. A), 2012).

19.57.030

Design standards and guidelines adopted.

The Chambers Creek Properties Design Standards ~~and Guidelines~~ are adopted by reference and contained in a separate City design manual titled "Chambers Creek Properties Design Standards ~~and Guidelines~~." (Ord. 607 § 2 (Exh. A), 2012).

Chapter 19.57
CHAMBERS CREEK PROPERTIES DESIGN STANDARDS

Sections:

- 19.57.010 Purpose
- 19.57.020 Applicability
- 19.57.030 Design Standards and Guidelines Adopted
- 19.57.040 Design Goals and Policies
- 19.57.050 Substitutions, and Adjustments
- 19.57.060 Exemptions
- 19.57.070 Design Review Process
- 19.57.080 Temporary Uses
- 19.57.090 Public Entrances & Gateways
- 19.57.100 Trails and Interior Roadways.
- 19.57.110 Parking
- 19.57.120 Parking Structures
- 19.57.130 Loading
- 19.57.140 Utilities
- 19.57.150 Landscaping
- 19.57.160 Fencing, Barriers & Buffers
- 19.57.170 Site Lighting
- 19.57.180 Signage
- 19.57.190 Sign Lighting
- 19.57.200 Wall Signs
- 19.57.210 Projecting Signs
- 19.57.220 Building Façade
- 19.57.230 Projections
- 19.57.240 Roof Designs and Materials
- 19.57.250 Building Colors
- 19.57.260 Building Materials
- 19.57.270 Materials to Avoid
- 19.57.280 Bulk Regulations
- 19.57.290 Auxiliary Spaces & Mechanical Equipment
- 19.57.300 Retaining Walls/Guardrails

19.57.010 Purpose.

The purpose of this chapter is to establish design standards and guidelines for the Chambers Creek Properties Overlay to implement the Chambers Creek Properties Master Site Plan.

19.57.020 Applicability.

These standards and guidelines apply to all development on the Pierce County Chambers Creek Properties that are subject to the Chambers Creek Properties Design Standards accordance with the Chambers Creek Properties Joint Procedural Agreement.

19.57.030 Design standards and guidelines adopted.

(See 19.57.030 Design standards and guidelines adopted in Title 19).

19.57.040 Design Goals and Policies.

- A. These Design Standards are intended to ensure that development on the site achieves the design related goals and policies as outlined in the Chambers Creek Properties Master Site Plan. For the purposes of this chapter, Design Standards are considered mandatory while Design Guidelines are considered discretionary.
1. Retain flexibility in design while ensuring that the unique characteristics and qualities of the site are protected. [Policy 4.1]
 2. Retain access, views and interpretation of unique site characteristics: [Policy 4.3]
 - a. Views of Puget Sound and Islands
 - b. Views of the Olympic Mountains
 - c. Views of Mt. Rainier
 - d. Chambers Creek Shoreline
 - e. Puget Sound Shoreline
 - f. Chambers Bay Shoreline
 - g. Chambers Creek Canyon
 3. Design public art into buildings, infrastructure, and development projects to interpret the site history and uses. [Policy 4.4]
 4. Design interpretive materials, displays, and elements into each project to provide environmental education about site reclamation, site history, Pierce County utilities, ecosystems and sustainable development. [Policy 4.5]
 5. Develop the site in a manner that requires minimal maintenance and a natural look where possible. [Policy 4.6]
 6. Design public parking areas based on what the land base can support and the quality of the site and desired experience. [Policy 4.9]
 7. Minimize vehicular access and circulation so that the site is a destination where people actively engage with the landscape and the visual and environmental qualities of the site are minimally impacted. [Policies 4.9, 9.2, and Site Wide Uses and Operations 4.2.6]
 8. Develop buildings and landscapes that demonstrate sustainability and low-impact site development. [Goal 5]
- B. In addition to design specific policies, the following general design intents also apply to the Chambers Creek Properties:
1. Maintain a unified and identifiable visual character throughout the site;
 2. Promote development that is a reflection of site-wide and area-specific conditions and characteristics;
 3. Include design elements that retain natural features, provide buffers and open spaces, provide for safe public access and maintain environmental quality;
 4. Create a balance between the biological function and human utility of the site; and

5. Develop native plant communities where possible to provide habitat, reduce ongoing maintenance and to provide interpretive opportunities.

19.57.050 Substitutions and Adjustments.

- A. Except where otherwise noted in this Chapter, these Standards replace other design and development standards outlined in Title 19, and will be applied to all subsequent development within the Chambers Creek Properties Overlay (CCPO) zone. Specifically, the following UPMC provisions do not apply within the CCPO and are superseded by the provisions in this Chapter:

19.30.040(A)(8) Commercial Vehicles	19.65.120 Perimeter Landscaping*
19.35.040 Temporary Housing – Medical	19.65.270 – 19.65.320 Tree Preservation
19.45.020 Tables (Except Note 13)	19.70.060(F) Open Space Requirements
19.45.040 Projection Exceptions	19.75.090(D) Signs on Marquees, Canopies and Awnings
19.65.100 Street Frontage Landscaping	

*Except adjacent to R1 & R2 Zones.

- B. These Design Standards apply to all new development, exterior alterations and major redevelopment or major improvements in the CCPO. Standards are mandatory while intent statements are discretionary.
- C. Substitutions and Minor Adjustments.
 1. A standard may be replaced with an equivalent item(s) if the County can demonstrate to the satisfaction of the Director that the standard is of equal or greater quality or quantity.
 2. Minor adjustments shall be requested in writing by the County and the Director shall grant approval based on compliance with the following criteria:
 - a. The adjustment is consistent with the design objectives;
 - b. Departures for the design standards will not have significant negative effect to the public, surrounding properties or the character of the area;
 - c. Adjustments are compensated for by the provision of additional design features and amenities that would not normally be required;
 - d. The adjustment results in an equal or better environment, use of land or design; and
 - e. The adjustment does not waive the design standard.
 3. A response to the County’s request shall be provided by the Director within ninety (90) days of receipt of the request with failure to respond or provide a comment within such time period constituting lack of objection to the substitution or minor amendment.
 4. If any party is aggrieved by the decision, it shall be resolved through the variance procedure in accordance with the procedures for major adjustments.
- D. Major Adjustments. Major adjustments will be processed through the variance procedure.
- E. When reference is made to required or recommended use, streetscape amenity landscaping or parking in the zone, refer to specific standards and/or guidelines regarding those items. For

example, if landscaping is required in parking areas, refer to the landscaping section in streetscapes for specific plant and irrigation standards and guidelines.

19.57.060 Exemptions.

The following uses within the Chambers Creek Properties Overlay (CCPO) are exempt from the provisions of this Chapter: mine reclamation (grandfathered use); wastewater collection and treatment operations; water utility operations; transportation services; and all of their supporting ancillary uses and activities. Where appropriate, these uses may refer to the Standards in this Chapter as a guide but compliance with these standards is not required. Instead, these uses are required to comply with meet applicable permits.

19.57.070 Design Review Process

- A. Time Frame and Procedure. Design review shall be conducted in accordance with the timelines and procedures set forth in UPMC Title 22, Administration of Development Regulations.
- B. Pre-Submittal Concept Review. A pre-design meeting may be scheduled with the City's Technical Review Committee prior to formal project development and application to review schematic sketches and a general outline of the proposed project. Each jurisdiction is invited to participate in the design review of individual development projects.
- C. Submittal Requirements. A Design Standard Review Application shall be submitted with development and/or building applications that documents compliance with applicable Standards.
- D. Review of Submittals. The city staff shall review and comment on all development applications and their consistency with the CCPO design standards.
- E. Review Fees. Design review fees must be paid at the time of submittal.
- F. Written Decisions. The Director shall issue a written decision approving, approving with conditions or denying the permit and include findings of fact and conclusions that support the decision.
- G Expiration of Approvals. If the applicant has not submitted a complete application for a building or site development permit within two years from the date of permit issuance, or if appealed within two years from the decision on appeal from the final design review decision, design review approval shall expire. The Director may grant an extension for no longer than 12 months, for good cause shown, if a written request is submitted at least 30 days prior to the expiration of the permit
- H. Exceptions. The Director is authorized to make exceptions to the standards when the County can demonstrate to the satisfaction of the Director that the exception meets the intent of these standards and is of equal or greater quality or quantity.
- I. Appeals. Appeals or disputes regarding a development project's consistency with the Design Standards may be appealed to the City Hearings Examiner. Appeals shall be filed as set forth in UPMC Title 22.

19.57.080 Temporary Uses, Seasonal Uses, and Special Events.

Temporary and seasonal uses and special events are envisioned within the Chambers Creek Property Overlay (CCPO) area as prescribed in the Master Site Plan (MSP), Joint Procedural Agreement (JPA) and the standards set forth in this Chapter. Examples of temporary and seasonal uses and special events include but are not limited to: outdoor concerts, golf tournaments and other golfing related promotional events, temporary sales of food or merchandise to support the main event, fun runs, wildlife watching, tours, etc.

A. Temporary and Seasonal Uses

1. Temporary and seasonal uses in the CCPO are permitted in accordance with Chapter 19.35 UPMC.
2. Outdoor temporary sales shall be conducted within portable kiosks or tents meeting these design standards and guidelines.
3. Signs advertising temporary and seasonal uses shall be limited to window signs or kiosks within five feet of where the sales are taking place.
4. Facilities such as electrical outlets and water bibs shall be available for temporary and seasonal uses and special events but such electrical cords or water hoses shall not extend across walkways, sidewalks or plazas.

B. Special Events

1. Special events may be allowed within the CCPO in multi-use areas and meadows or other prescribed areas. Special events are also subject to the following:
 - a. Special events shall comply with the provisions set forth in Chapter 5.10 UPMC and County approval.
 - b. Pierce County will direct any special events occurring within the CCPO that exceed 50 attendees to University Place for a special event permit, however, the County may include special conditions when signing an affidavit of consent form for the special event permit.
 - c. All inquiries made to the City for a special event on the CCPO will be directed to the County and the County will be included on any correspondence related to the special event permit.

ACCESS AND CIRCULATION

19.57.090 Public Entrances, & Gateways

A. Standards.

1. Vehicular public entrances to the site will be consolidated to four major public entrances, 64th Street – ESB Entrance, Grandview and 62nd Street – Central Meadow and Chambers Bay, Chambers Creek Road – Chambers Creek Regional Wastewater Treatment Plant, Chambers Creek Road – South Entrance.
2. Gateways shall have qualities which make them distinct from the surroundings, including but not limited to decorative paving, landscaping and signage.
3. Gateways will be identified by a concrete monument sign see 19.57.180.
4. No overhead features above a vehicular gateway/entrance.

5. Intersections of site roadways with public city streets shall be designed per the City of University Place Public Works Standards.
6. Pedestrian crossings and walkways at public vehicular site entrance points must be clearly marked for pedestrian safety.
7. All public vehicle entrances shall provide for both ingress and egress, unless otherwise required by the City of University Place Public Work Standards.
8. Trails and vehicle entries shall be controlled access points to the site.
 - a. The four major vehicular entries (e.g. interior roadways and service and emergency roads) shall be gated and lockable to prohibit entry for security purposes during hours the site is closed. Appropriate emergency access shall be made available.
 - b. Removable bollards at trail/entrances shall be installed to prevent general vehicular use but still permit emergency and service vehicle access.
 - c. Urban Trail access is provided from the North Meadow parking area, at Cirque Drive, at 56th and 64th Streets on Grandview Drive, and at the Pierce County Environmental Services Building.
 - d. Nature Trail access is provided from Chambers Creek Road at Chambers Creek, from 91st Street Court West in the Tiffany Park Subdivision, and from Philips Road in Lakewood. Future nature trail access points are planned along Zircon Drive, at Kobayashi Park, and from various points in University Place.
 - e. Nature Trail access points shall be designed in accordance with Appendix I of the Pierce County Parks Recreation, and Open Space Plan.

B. Guidelines.

1. Public entrances and gateways should provide a distinctive visual identity for the site that allows visitors to know that they have entered the Chambers Creek Properties.
2. Clear and consistent signage at all site entries should be used to provide a definitive distinction between public accesses and restricted entrances to the site.
3. Gateways can be freestanding elements or be designated by a change in pavement or landscaping design

19.57.100 Trails and Interior Roadways

A. Standards

1. All interior roadways and trails within the CCPO are considered private and shall be maintained by Pierce County or its designee.
2. Trails and interior roadways within the CCPO shall conform to the uses, width, materials and special provisions outlines in Table 1.
3. Trails and interior roadways shall be designed to enhance the safety and functionality of various uses and users as follows:
 - a. Pedestrian use of roadways (interior and exterior) shall be discouraged by providing clear, designated pedestrian facilities.

- b. Designated pedestrian connections shall be provided between buildings, parking areas and other pedestrian circulation areas.
 - c. A minimum 4-foot buffer shall be used to buffer urban trails from interior roadways. See 19.57.130 for landscape requirements.
 - d. Where applicable, pedestrian access shall be developed according to State accessibility standards.
 - e. Emergency call boxes shall be provided at main trailheads where power is available and no other public facility is located within ½ mile.
4. Emergency and service access to the CCPO shall be provided by adjacent public rights-of-way and interior roadways.

B. Guidelines

- 1. The sweeping views and changing landscape is what make the Chambers Creek Properties unique. Roadways, trails, pathways and sidewalks should not be a dominant feature in the landscape and should be integrated into the landscape where possible to preserve views and natural features.
- 2. Pedestrian amenities and trails should be located to take advantage of vantage points and areas of demonstrated need and allow for easy connection to on-site activities and uses. Pedestrian amenities include such things as safety lighting, restrooms, benches, dog stations and drinking fountains.
- 3. Urban trails and walkways should be designed to accommodate emergency and service needs, minimize conflicts between pedestrians and vehicular traffic, preserve environmentally sensitive areas, and enhance the safety of users.

Table 1 : Trails and Roadways

TYPE	USE	WIDTH /SIZE	ALLOWABLE MATERIALS	SPECIAL PROVISIONS
Interior Roadways	Vehicle Circulation - trucks, cars, bikes	20-24' (2-way) (Figure 1) 16' (1-way) (Figure 2)	Concrete, asphalt, pervious surface systems	<ol style="list-style-type: none"> 1. Constructed with concrete curb and, where possible, using bioswale for drainage (Figures 6-9), and acceptable alternatives identified in the King County Surface Water Design Manual (2005) where needed. 2. Roadways must comply with the City of University Place standards for road gradients and curves
Emergency/ Service Access	Emergency /service access - emergency response vehicles, trucks, cars	12' (1-way) 20' (2-way)	Concrete, asphalt, pervious surface systems, grasscrete	<ol style="list-style-type: none"> 1. New access roads for service and emergency vehicles shall be designed to the City of University Place Engineering and Emergency Vehicle standards. 2. Existing access roads for service and emergency vehicles may follow grades of existing routes where possible (up to a 15% grade) but shall be designed to City of University Place Emergency Vehicle standards and the Uniform Fire Code.
Urban Trail	Recreation - Pedestrians, bikes, skates	12' with 2' soft shoulders (Figure 3)	Concrete, asphalt, pervious surface systems, grasscrete	<ol style="list-style-type: none"> 1. Pavement and structural sub-base of trails shall be designed to be capable of handling occasional emergency and service vehicle use. 2. Minimum clearance is 12' in height to the first tree limb, guy-wire or other object 3. Signs, mileage markers, fences and other placed features must be located outside of the shoulders 4. Limited sight-distance at curves should be striped for two-way travel lanes.
Walkway	Pedestrian Circulation - pedestrians	5-6'	Concrete, asphalt, pervious surface systems, unit pavers/masonry	Walkways may be wider in selected areas where pedestrians gather (i.e. parking lots or plazas).
Pathway	Pedestrian Circulation between walkways, trails, and buildings – pedestrians	3-4'	Concrete, asphalt, pervious surface systems, unit pavers/masonry	Pathways may be wider in selected areas where pedestrians gather
Nature Trail	Recreation - pedestrians	2-4' (Figure 4).	Soft porous materials such as gravel, bark	Nature trails shall conform to the Pierce County standard for nature trails.
Crosswalks	Pedestrian Circulation – crossings at roadways	6 – 12'	Concrete, asphalt, pervious surface systems	Crosswalks shall be visually and tactilely different from the roadways through the use of paint or other materials.

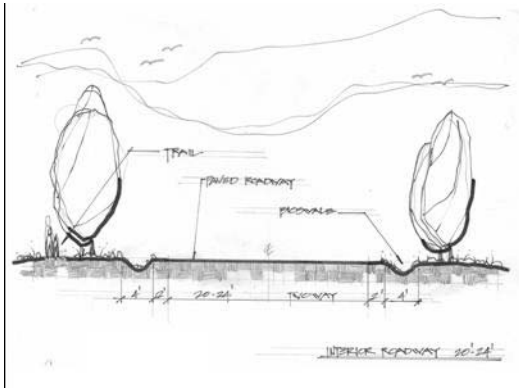


Figure 1 Interior Roadway 24'

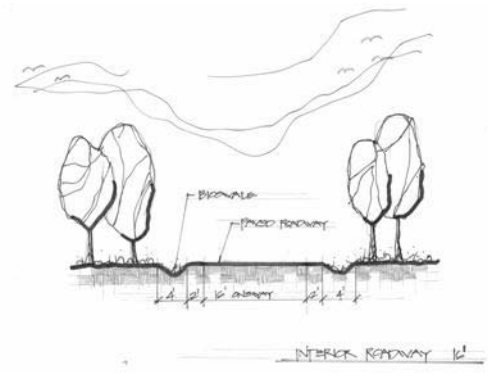


Figure 2 Interior Roadway 16'

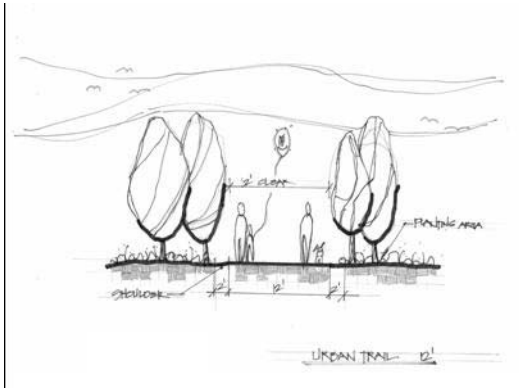


Figure 3 Urban Trail

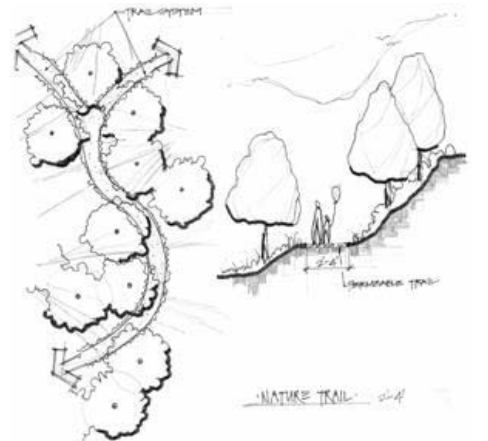


Figure 4 Nature Trail

PARKING

19.57.110 Parking

A. Standards.

1. Parking areas within the CCPO will conform to the uses, width and materials, and special provisions outlined in Table 2.
2. Large parking areas (over 150 stalls) shall be broken up into smaller areas which are separated and screened visually using curvilinear parking patterns, vegetation, topography, and terracing, where appropriate.
3. Provide raised or clearly marked pedestrian walkways in surface and structured parking lots.
4. Entries and exists to and from parking shall be clearly marked for both vehicles and pedestrians through the use of a combination of signage, lighting and change in material.
5. A maximum of two levels of structured parking is allowed. For structures visible from off-site shall be screened with Green Screen® vegetation, topography, or terracing,,
6. Event parking within the CCPO will conform to the uses, width and materials, and special provisions outlined in Table 2. Event parking is subject to the University Place Special Event Permit process.

B. Guidelines.

1. Design public parking to meet the needs of the facility without compromising aesthetic and environmental quality. Create parking areas that respond to the site's existing and future landscape characteristics.
 - a. Locate and screen parking lots so that they are not the visually predominate element within the site landscape.
 - b. Provide adequate on-site parking in locations convenient to site uses.
 - c. Design landscaping in surface parking lots to handle storm water runoff.
2. Provide durable, cost-effective paving material that is appropriate for each parking area and, where appropriate, demonstrate the use of environmental sensitivity and sustainable materials.
 - a. Minimize development impacts by allowing the minimum necessary impervious surfaces on the site, and to encourage the use of porous paving as much as possible.
 - b. Curb stops should be minimized in parking areas. Curbs of vegetated islands may serve as curb stops with 1.5 feet of low groundcover planted along island perimeters. Recycled and other non-traditional materials for curb stops should be used where possible (Figure 5).

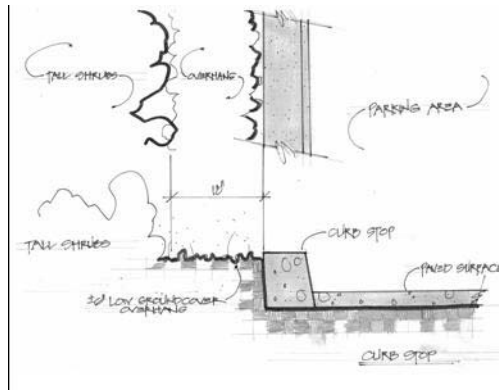


Figure 5 Curb Stop

3. Provide parking lot features which improve public safety, sense of security and visibility of the surrounding area, including lighting and appropriate landscape treatments.
4. Pedestrian circulation shall be provided through parking lots, and across drainage and planting areas within parking lots, to provide direct pedestrian connections to the uses they serve and to other adjacent public areas.
5. Electric Vehicle charging and parking spaces should be provided in surface and structured parking locations.

Table 2 : Parking Areas¹

TYPE	USE	WIDTH/SIZE	ALLOWABLE MATERIALS	SPECIAL PROVISIONS
Main Parking Areas	Parking – Cars, trucks, motorcycles	Standard – 9 feet wide and 18 feet long Compact – 8 feet wide by 15 feet long ADA – per State standards	Concrete, asphalt, durable pervious surface systems	Thirty percent of stalls in lots containing more than 20 total stalls may be compact stalls. Compact stalls shall be labeled as such.
Aisle Areas	Travel ways within parking areas	90° head-in parking and two-way traffic – 24 feet 71° or more acute - 17 feet and one way traffic	Concrete, asphalt, durable pervious surface systems	
Event Parking – On-site	Parking – Cars and trucks	Parking stalls will be temporarily marked for the event and submitted with UP Special Event Permit.	Gravel or equivalent will be used to protect approaches to temporary parking areas.	On-site parking locations to be determined by Pierce County and identified within UP Special Event Permit.

1. These standards shall apply to all parking lots with ten or more spaces.

19.57.120 Parking Structures

A. Standards

1. Parking structures are allowed in the North Area of the CCPO only.
2. Parking structures shall not be visible from the Chambers Bay golf course or Grandview Trail.
3. Entrances to parking structures shall be the minimum size to permit reasonable entry and shall be consistent with the adjacent building façade.
4. Any elevation of a parking structure visible from Central Meadow or the Shoreline Area shall have a decorative parapet wall of not less than 46 inches high and shall utilize materials and colors consistent with the adjacent building façade.
5. Provide high ceilings and ample lighting at pedestrian entrances to elevate safety and comfort.
6. Provide direct access from the parking structure to the attached building structure.

B. Guidelines

1. The parking structures should be sited take advantage of the topography of the site.
2. Parking structures should be associated with a building and not as a standalone feature.
2. Provide enough clearance and appropriate curve radius to facilitate delivery, maintenance and emergency vehicle routes.
3. The roof of the parking structure should be incorporated into the overall design of the project.

19.57.130 Loading

A. Standards

1. Loading spaces within the CCPO will conform to the uses, square footage spaces and size outlined in Table 3.
2. Loading spaces that are adjacent and accessible to several buildings or tenant spaces may be used to meet the loading requirements for the individual buildings or tenants provided that the number of spaces satisfies the requirements for the combined square footages for the buildings or tenants in question.
3. Loading and service areas shall be located and designed to minimize visibility from streets, public spaces and semi-public spaces.
 - a. Loading areas shall be underground, recessed or screened to hide them from view.
 - b. If screened, use walls and/or landscaping to screen views of loading areas
 - c. Install attractive loading dock doors so that when not in use, loading docks do not present an eyesore.

Table 3 – Loading Spaces			
Use	Square Footage	Spaces	Size
Office Uses or portion of buildings devoted to office use	0 – 49,999 square foot	0	
	50,000 – 149,999	1	10' x 25'
Retail Uses – Tenant spaces	0 – 9,999	0	
	10,000 – 49,999	1	10' x 25'
	50,000 – 99,999	2	1 space 10' x 25' 1 space 10' x 50'
Restaurant Uses	0 – 9,999	0	
	10,000 and up	1	10' x 25'
Lodging	0 – 9,999	0	
	10,000 – 49,999	1	10' x 25'
	50,000 – 99,999	2	1 space 10' x 25' 1 space 10' x 50'

UTILITIES

19.57.140 Utilities

A. Standards.

1. The King County Surface Water Design Manual (2009), or other storm water manual adopted by the City of UP, shall be the minimum design standards for surface water management for the site and techniques from the *Low Impact Development Technical Guidance Manual for Puget Sound* (2012) should be considered in all projects effecting surface water management.
2. Telecommunication, telemetry towers and antennae shall comply with University Place Municipal Code permitting and siting requirements and the following standards:
 - a. Free standing towers shall only be permitted where it can be demonstrated that building or structure mounted facilities will not meet project objectives.
 - b. Equipment for building-mounted wireless communication facilities shall be located within the building in which the facility is located or integrated into the building design.
 - c. Equipment enclosures shall be placed unobtrusively underground if site conditions permit and if technically feasible. Where underground placement is not feasible, they shall be incorporated into building design or screened according to the standards and Standards in Chapter 6 (Fencing, Barriers, and Buffers) of this document.

- d. Wireless telecommunication facilities mounted on structures other than buildings, such as flag poles, light poles, or other structures, shall be designed to blend in visually with the structure upon which it was mounted and to, when completed, to be inconspicuous in character. Whenever possible, multiple wireless telecommunication facilities shall be located on the same pole but shall not exceed maximum height or screening requirements.
 - e. Guyed towers, roof-mounted lattice towers and unenclosed antenna arrays shall not be allowed.
3. Power facilities shall comply with the following standards:
- a. Above ground utility vaults, transformers, and switch boxes shall be located in such a way that they do not visually impact the surrounding landscape.
 - b. Underground installation of wiring serving the site is required. However, transmission lines may be located above ground.
4. Solid waste facilities shall comply with the following standards:
- a. Provide space for storage of recyclable materials and solid waste in accordance with applicable state code.
 - b. Storage spaces for solid waste shall be enclosed behind a sight-obscuring screen. If chain link is used as the enclosure, landscaping must be used to obscure the visibility of the chain link fence. The facility shall be screened on all sides by 6-foot high screen to screen facilities from view, to ensure the safety of children by keeping them away from the dumpsters, and to contain any garbage which might escape the containers and blow around the site.
 - c. Gate openings shall be a minimum of 12 feet wide to allow haulers easy access into the container space without damaging the fencing with a minimum of fifty foot "straight in" approach to front of enclosure. A minimum of two (2) foot clearance shall be provided around all containers to allow space around each container for accessibility to the hauler and the user.
 - d. Solid waste storage areas must be free of overhead obstacles, such as power lines, building overhangs, etc., so that haulers may use an overhead lift system without interference with the collection process, or causing damage to the vehicle or structure.
5. Water and sanitary sewer facilities located on-site outside of the Wastewater Treatment Plant Area shall be designed according to State and local Health Department regulations, fire flow regulations, and Pierce County Standards
- a. All permanent facilities on-site which generate wastewater shall be required to hook up to the WWTP or an approved septic system where connection to the WWTP is unfeasible.
 - b. Permanent wastewater facilities shall be installed according to Pierce County standards.

B. Guidelines

1. Provide areas for facilities that support development within the CCPO including but not limited to telecommunications, electrical, water, stormwater, etc.

2. Minimize or negate adverse visual or environmental impacts of the various utilities at the Properties.
3. Take advantage of natural, sustainable, and experimental technologies for the provision of utilities where possible.
4. Integrate surface water management facilities into the site in a manner that serves as a site amenity and controls surface water runoff from impacting any neighboring properties.
 - a. Surface Water produced on site should be treated and infiltrated on site as much as possible.
 - b. Surface water management areas should be considered as possible demonstration areas for sustainable development practices. Where applicable, interpretive and educational displays should accompany alternative waste collection and treatment systems.
 - c. Drainage and water management systems should reduce reliance on hard surfaced (piping) conveyance systems, and should utilize natural means of water handling, flow control, purification and infiltration as much as possible.
 - d. Above ground storm water management facilities should be visually integrated into the site landscape.
 - e. Biofiltration swales, detention ponds and wetlands (wet pools) should be designed to improve wildlife habitat.
5. Telecommunication facilities should be integrated into the site in a manner that promotes service while preserving aesthetics and views.
 - a. Telecommunication and telemetry facilities should provide coverage to the entire Chambers Creek Properties for site visitors and County uses and, when possible, be co-located to reduce the overall number of facilities necessary on the site.
 - b. Telecommunication facilities and infrastructure should be visually unobtrusive and subsumed within the site landscape and/or architecture in such a manner as to not block public views major features like Puget Sound, Island and mountains (Olympics and Mt. Rainier).
6. Power facilities should promote sustainability and visual aesthetics.
 - a. Encourage the use of small scale alternative low impact power sources (such as solar powered lights) which promote sustainable development.
 - b. Major entry roads and site entries should not have overhead wiring cross them nor run parallel to them.
 - c. Junction boxes, pull boxes, and vaults should be consolidated in locations that improve servicing efficiency and visual unobtrusiveness.
7. Design and locate garbage and recycling containers in a manner that allows efficient storage, collection, and removal of materials and does not obstruct views and pedestrian circulation.
 - a. Garbage and recycling containers should be designed to blend in with the surrounding buildings and landscape and be visually non-obtrusive.

- b. Garbage and recycling containers should be dispersed at regular intervals throughout the site to promote convenient access and use.
8. Provide water and wastewater facilities to meet on site needs and to visually and functionally integrate these facilities into the overall site landscape and public use areas.

LANDSCAPING

19.57.150. Landscaping

A. Standards.

1. All landscape plans within the CCPO shall be completed by a licensed landscape architect in the State of Washington.
2. All plant material shall meet or exceed ANSI Z60.1-1996 American Standards for Nursery Stock.
3. Landscaping and planting standards are set forth in Table 4 and Table 5.

B. Guidelines

1. Landscaping should be used to distinguish public access areas, enhance views and the users experience of the site, restore native landscapes and functions, provide habitat, and manage surface water runoff.
 - a. Create a varied and memorable experience for site users through protection of regional views, restoration of a native landscapes, and incorporation of interpretive and educational experiences.
 - b. Landscape design features which do not interfere with visibility, and improve sense of security through appropriate plant placement, should be utilized.
2. Habitat value of landscaped areas should be maximized by:
 - a. Reconstructing native plant communities;
 - b. Providing connectivity between habitat patches;
 - c. Planting a diversity of native species;
 - d. Providing protected habitat connections to and near water; and
 - e. Minimizing human disturbance.
3. Landscaping in parking lot areas should minimize visual impacts and stormwater run-off, be designed to enhance the personal safety of site users, and reduce drainage and nonpoint pollution.

C. Irrigation and Soil Standards for Landscaped Areas

An irrigation plan is required to ensure that the planting will be watered at a sufficient level to ensure plant survival and healthy growth. All landscaped areas must provide an irrigation method as stated below:

1. A certified irrigation designer shall prepare all irrigation plans for landscaped and turf areas.

2. Drought-tolerant species that are native to Western Washington shall be utilized for landscape treatments and re-vegetation as much as possible.
3. To minimize plant mortality, new landscape plantings shall be irrigated as follows:
 - a. If using native plants, irrigation is required for a minimum of three years.
 - b. If using non-native plants irrigation shall be permanent with an automatic controller plus and overriding rain switch.
 - c. Turf areas shall be have an irrigation plan based on high demand and shall be suitable for reclaimed/re-use water where possible or available.
 - d. Reclaimed/re-used water shall be used for all irrigation where possible and/or available
4. Planting is encouraged to take place in the spring or fall planting season following final development permit approval, and shall be completed prior to final completion of the project. A postponement of the landscaping due to weather conditions will be allowed with prior approval by the City. A phased project may propose have an alternative timeline for planting with prior written approval by the City.
5. Following installation of the landscaping and irrigation, the person or persons who prepared the planting and irrigation plans shall submit, within 30 days, a signed affidavit that the landscaping and irrigation system has been installed per the approved plans. The city will conduct an inspection prior to final approval of the landscape plan.
6. Minimum soil depths and types within areas designated for landscaping shall comply with the following:
 - a. To assure survival of planting in high-use areas, soil depths should be adequate to store water during dry seasons and normal periods of precipitation.
 - b. All soil and soil amendments introduced to the site shall be free of seeds and live propagules.
 - c. Soil depths will be affected by the excessively fast percolation rate of subsurface sands and gravels, and should be adjusted accordingly. The following minimum depths are recommended:
 - i. Trees: 6 inches below root ball. Soil also should be provided at least 4 feet on all sides of root ball to allow for root spread,
 - ii. Shrubs: Whole beds: minimum 18 to 24 inches deep,
 - iii. Groundcovers: Whole beds: minimum 12 to 18 inches deep,
 - iv. Lawn (high traffic areas): 6 to 8 inches deep (for seeded or sodded areas),
 - v. Lawn (low traffic areas): 6 inches deep (for seeded or sodded areas).

D. Landscape Maintenance:

Maintenance of the landscaping within the CCPO is the responsibility of Pierce County and shall follow the County's Urban Forest Management Plan, Natural Resource Management Plan or the landscape policies and procedures, as applicable. At a minimum, the following standards shall be followed for all required landscaping:

1. The County shall maintain all landscaping within the CCPO for the life of the land use.
2. All landscape materials shall be pruned and trimmed as necessary to maintain a healthy growing condition or to prevent primary limb failure.
3. All landscape areas shall be kept free of trash.
4. Any installed plant material located within required landscape areas which dies during the first three years after planting shall be replaced during the spring or fall growing season following plant loss but not greater than 180 days from time of loss.

E. Parking Lot Landscaping Standards

1. Row Requirements: Intervening landscape islands shall be evenly dispersed throughout the parking lot to minimize visual impacts, screen illumination and provide opportunities for natural drainage and storm water filtration. For parking rows which front a landscaped buffer, intervening landscape islands shall be provided every 20-23 spaces. For parking rows which do not front a landscaped buffer, an intervening landscape island or peninsula is required every 12 – 15 spaces. For parking rows which end in within a parking or circulation area, a landscaping island or peninsula is required.
2. Islands/Peninsulas/ Landscaped Buffers. Landscaped interior parking lot islands and interior parking landscapes shall be a minimum average of 10 feet wide from insides of curbs, and planted in a combination of trees, shrubs, ornamental grasses or native ground covers and shrubs. Perimeter landscape buffers shall be a minimum average width of 15 feet and planted in a combination of trees, shrubs, ornamental grasses or native ground covers. Interior parking landscape areas and perimeter landscape buffers may contain berms, walkways, pathways, or drainage swales.
3. Planting Type and Density. Shrubs in planting islands shall not exceed 3 feet from tops of curbs and deciduous trees at maturity shall not have branches lower than six feet in order to preserve sight lines and provide or maintain personal security conditions in parking lots. Plantings within the interior of the parking lot shall not exceed Level 3 landscape standards as identified in Table 4. Landscape buffers abutting a public street shall meet Level 2 landscape standards as identified in Table 4.
4. Curb/Curb Edge/Fencing. Planting areas shall be fully protected by a combination of curbs or low fencing as a means of preventing injury to plants from pedestrian or vehicular traffic and to prevent landscaping material from entering the storm drainage system. No trees or shrubs shall be planted within two feet of a curb edge.

Parking Lot Landscaping Guideline

5. The *Low Impact Development Technical Guidance Manual for Puget Sound* (2012) or most recent edition thereof should be consulted when designing landscaping in all surface parking lot projects.

Table 4 – Landscaping Standards by Type

Type	Description and Location	Special Provisions
<p>Level 1 – Visual Buffer</p>	<p>Level 1 landscaping is intended to provide a very dense sight barrier to significantly separate uses on the CCPO. An example would be between Chambers Creek Road and the Chambers Creek Regional Wastewater Treatment Plant.</p> <p>Around Wastewater treatment plant.</p> <p>Northern property line</p>	<ol style="list-style-type: none"> 1. Landscaping widths shall be a minimum of 100 feet. 2. Where installing new landscaping or supplementing existing vegetation, the plantings shall generally consist of a mix of predominantly evergreen plantings including trees, shrubs and groundcovers. The choice and spacing of plantings shall be such that they will form a dense hedge sufficient to obscure sight through the screen within three years after planting. 3. Native trees and shrubs in existing site perimeter buffers shall be retained and enhanced as much as possible. 4. Unusual tree species that are highly specific and unique to the site biome shall be retained and highlighted, particularly <i>Pinus ponderosa</i> (Ponderosa Pine), <i>Arbutus menziesii</i> (Pacific Madrone), and <i>Quercus garryana</i> (Garry Oak), when possible. 5. A multilayered canopy that provides a full range of wildlife and bird habitat and sheltered shall be provided. 6. Naturally occurring wildlife structures, such as downed logs and standing snags, shall be retained. 7. Shrubs and groundcover shall be planted to attain a coverage of 90 percent of the planting area within three years. 8. Landforms and berms maybe used to increase the visual separation but shall not replace the landscape requirements.

<p>Level 2 - Limited Views</p>	<p>Level 2 landscaping is intended to create a visual separation between uses and zones with some limited view corridors. An example would be between Chambers Bay golf course and North Meadow</p>	<ol style="list-style-type: none"> 1. Landscaping widths shall be an average minimum width of 50 feet 2. A mix of evergreen and deciduous trees, with no more than 30 percent being deciduous. 3. The area which is not planted with trees shall be planted with a mix of evergreen and deciduous shrubs, with not more than 30 percent being deciduous, planted to attain a coverage of 90 percent within three years of planting. 4. Appropriate seed mixes shall be utilized to accommodate the site's unique character, reduce irrigation needs, and accommodate areas of heavy pedestrian use 5. Landforms and berms maybe used to increase the visual separation but shall not replace the landscape requirements.
<p>Level 3 – Ornamental Effects Landscaping</p>	<p>Level 3 landscaping is intended to provide a visual separation of compatible uses so as to soften the appearance of the development from public streets or interior roadways and soften the appearance of parking areas, buildings, and other improvements. Landscaping in these areas is intended to look more structured than natural. An example would be the grounds surrounding the Environmental Services Building.</p>	<ol style="list-style-type: none"> 1. Landscaping widths shall be an average minimum width of 15 feet. 2. Canopy-type deciduous trees or spreading evergreen trees shall be planted in clumps or strips with a mix of living evergreen and deciduous groundcovers and low shrubs. 3. The area which is not planted with trees shall be planted with shrubs and living groundcover chosen and planted to attain a coverage of 90 percent within three years of planting. 4. Utilize plant species that are able to tolerate reclaimed water. 5. Appropriate seed mixes shall be utilized to accommodate the site's unique character, reduce irrigation needs, and accommodate areas of heavy pedestrian use.

<p>Level 4 – Active Recreation Areas</p>	<p>Level 4 landscaping is intended for areas of active recreation, such as playfields, Central and North Meadow, Chamber Bay golf course. These areas are primarily turf or a combination of turf and meadows and must tolerate heavy foot traffic.</p>	<ol style="list-style-type: none"> 1. There is no required landscaping width for this level. 2. Maximize native vegetation between open expanses of turf in areas of active recreation (i.e., between golf course fairways and playfields) (Figure X) 3. Turf grasses shall be used in areas with heavy pedestrian use as appropriate and shall be tolerant of reclaimed/re-used water. 4. Meadow and turf grass shall be certified weed free 5. Meadows shall be watered to establishment and then maybe natural. 6. Turf areas shall have an irrigation plan designed to accommodate heavy pedestrian use.
<p>Level 5 - Restoration</p>	<p>Stabilizes areas or replant as needed for health of the biome (shoreline, Chambers Creek Canyon, forested buffers). These areas are natural and not landscaped.</p>	<ol style="list-style-type: none"> 1. Restoration work shall follow the adopted Urban Forest or Shoreline Restoration plans as approved by the County. 2. The Urban Forest Management Plan shall be developed for the county by a certified Arborist or Forester.

Table 5 – Planting Standards		
Plant Type	Size at time of planting	Uses/Comments
Deciduous trees	Coniferous and broadleaf evergreen trees may be comprised of a mixture of sizes but shall not be less than 2 inch diameter caliper at time of planting. Tree material at time of planting shall be of a sufficient size to meet the minimum height and screening requirements within 10 years of installation 2 inch diameter caliper, balled and burlapped. No bare root trees allowed	Use as shade, canopy trees, break up parking lot areas in islands. Or as colorful accents and naturalization.
Coniferous trees	Coniferous and broadleaf evergreen trees may be comprised of a mixture of sizes but shall not be less than six feet in height at time of planting. Tree material at time of planting shall be of a sufficient size to meet the minimum height and screening requirements within 10 years of installation .balled and burlapped, no bare root trees allowed	Use as screening, clumped, or as backdrop for colorful deciduous tree species.
Shrubs	5-gallon pots or tubs, or balled and burlapped Shrubs may be comprised of a mixture of sizes but shall not be less than 24 inches at time of planting. Shrub and hedge material at time of planting shall be of a sufficient size to meet the minimum height and screening requirements within three years of installation	Mass planting or clumps for hedging where sight lines are not a problem or as Hedges, massing, and edge definition, color and for fragrance.
Ground covers	1-gallon pots at time of planting. Groundcover shall be planted to achieve a minimum planting area coverage of 90 percent of required coverage within three years of installation and shall achieve 100 percent of required coverage within five years of installation	Green cover of ground in lieu of grass, naturalizing areas.
Emergent Plant Species	1-gallon plants or rhizomes	May be used in drainage swales to capture sediments, provide filtration, and protect erosion

19.57.160 Fencing, Barriers & Buffers.

A. Standards

1. A combination of fencing, barriers and vegetation shall be provided and maintained along Grandview Drive, 48th Street, Lower Chambers Creek Road and the Puget Sound shoreline.
2. Fencing, barrier and berm standards and the proposed location for each is listed in Table 6.

B. Guidelines.

1. Ensure the safety of visitors by providing fencing and barriers to non-public access or hazardous areas.
2. Fencing should be unobtrusive and visually integrated with landscape and preferably used in conjunction with appropriate vegetative screening/barrier.
3. Landscaped buffers used to separate off-leash areas from other site uses should utilize topography, low fencing, and/or be dense enough at time of occupancy so as to prevent dogs from entering non off-leash areas.

Table 6 – Fencing, Barrier & Berm Standards by Type/Area

Type	Description	Area(s)	Design Standards
Fencing	Six foot Black vinyl cyclone	All areas, except in front of the Environmental Services Building or between the sidewalk on Grandview Drive and the North Area	<ol style="list-style-type: none"> 1. Cyclone fences shall be black vinyl, include a top rail, secure ties, steel binding clips and tension wire. 2. Barbed wire may be used on fence tops for security in non-public areas of the site. Razor wire shall not be allowed. Where public access is immediately adjacent to the fencing a combination of fencing and vegetative barrier shall be used. 3. Fencing, shall be constructed of durable, recycled, low-maintenance, environmentally sensitive and/or locally available materials whenever possible and appropriate. 4. To minimize view impacts, fencing shall be located below the line of sight (in a trench or lower than eye level down slope). Where appropriate, four foot fencing may be used. Temporary fencing shall be made of recycled materials or otherwise be reusable. 5. Temporary fencing shall supplement a vegetative barrier until the vegetation is mature enough to serve as a permanent barrier. 6. Off-leash area fencing shall be integrated into the site using either wood split-rail with wire mesh, black vinyl-coated cyclone, vegetative barrier or a combination of fencing and vegetation.
	6 foot Cyclone/ Barbed Wire	<ol style="list-style-type: none"> 1. Railroad corridor 2. Secure storage areas 3. Secure Utility Facilities 	
	Temporary Fencing	All areas as needed	
	Mesh/ Wire/Wood	<ol style="list-style-type: none"> 1. South Area 2. Shoreline 3. Chambers Creek Canyon 	
Landscape walls	Decorative stone/cement walls less than four feet in height.	<ol style="list-style-type: none"> 1. Environmental Services Area 2. Grandview and Soundview Trails 3. North Area 	<ol style="list-style-type: none"> 1. Landscape walls shall be integrated into the site. 2. Landscape walls should be constructed to complement existing site characteristics and/or be interpretive in nature. 3. Walls in excess of four feet shall follow University Place standards for retaining walls.
Vegetative Barrier*	Dense planting of vegetation, with or without thorns which discourage public access.	All areas except playfields	<ol style="list-style-type: none"> 1. Dense, thorny impervious thickets of native plants should be utilized to inhibit public access into hazardous areas. Such, barriers shall be planted at a density, or in combination with fencing, so that they are impassable at the time of occupancy. Preferred plant species include but are not limited to:

Table 6 – Fencing, Barrier & Berm Standards by Type/Area

Type	Description	Area(s)	Design Standards
			<ul style="list-style-type: none"> • Amelanchier alnifolia (Saskatoon/Serviceberry); • Cornus stolonifera (Red Twig Dogwood); • Corylus cornuta ‘Californica’ (California Hazel); • Ribes bracteosum (Stink Current); • Ribes lacustre (Black Swamp Gooseberry); and, • Rosa gymnocarpa (Baldhip Rose). <ol style="list-style-type: none"> 2. Landscape treatments shall be utilized to screen developments and as security barriers in hazardous or non-public areas when possible. 3. Landscape buffers may be used as freestanding barriers or in conjunction with fencing, depending on degree of security requirements (such as Wastewater Treatment Plant Area, and restricted access areas as needed in other areas for wells, water supply, grounds maintenance, and other utility needs).
Berm	Low hills of soil or sand of varying heights and sizes	1. All areas	<ol style="list-style-type: none"> 1. Berms used as part of a landscape buffer shall be adequate in depth to support vegetation. See Table 5 Planting Standards for soil depths. 2. Berms may not exceed a slope of 2:1. 3. Berms outside the Chambers Bay golf course shall be vegetated at a minimum with native grasses.

* Must be sufficient size that it is impassible when that area is open to the public

LIGHTING

19.57.170 Site Lighting.

A. Standards

1. Luminaries shall be translucent or glare-free.
2. Diffusers and refractors shall be installed to reduce glare and light pollution, particularly in areas adjacent to Grandview Drive and 64th Street West.
3. Outdoor light fixtures shall be dark sky compliant.
 3. Intersections of pedestrian, vehicular, and bicycle traffic shall be appropriately lighted for nighttime visibility where night use will occur.
 4. Parking areas and pedestrian walkways shall be lit for safety by bollards at appropriate levels determined on a case by case basis by a lighting engineer. In addition, overhead lighting shall be provided in parking lots which service evening use.
 5. Spacing and placement of overhead lighting and bollards may vary depending on configuration of parking areas and walkway length, although bollards should be spaced at a distance of 20 feet (or greater as determined on a case by case basis).

B. Guidelines

1. Ensure that lighting is adequate for site uses and is utilized in a manner that improves the site appearance and identity and highlights unique site features such as buildings and landscape elements, while increasing the sense of security in evening-use areas and minimizing any negative aesthetic or environmental impacts to adjoining properties.
2. Lighting within the CCPO should provide the following:
 - a. Distinctive appearance that creates identity;
 - b. Visual compatibility/unobtrusiveness within site landscape;
 - c. Minimization of glare;
 - d. Energy efficiency;
 - e. Ease of maintenance.
3. Lighting should only be provided in areas of the site that are open to the public during non-daylight hours.
4. Lighting fixtures should reflect the natural character and industrial history of the site.

Table 7 – Lighting Standards by Type

Type	Description	Design Standards
Site Entry Lighting	Fixture Type - overhead Max Height - 28' Max Spacing - varies	<ol style="list-style-type: none"> 1. Site entry lighting within the CCPO should consist of overhead, pedestrian and bollard lighting as determined to be appropriate at the time of site design. 2. Entry roadway lighting within the CCPO should be installed at a maximum 1.0 footcandle level of illumination.
Interior Roadway Lighting	Fixture Type - overhead Max Height - 28' Max Spacing - varies	<ol style="list-style-type: none"> 1. Roadway (overhead) lighting should consist of overhead lighting at a spacing determined by a lighting engineer on a development specific basis. 2. Illumination shall not exceed an average of 1.2 footcandles along street frontages
Pathway Lighting	Fixture Type – bollard Max Height – 3' Max Spacing - varies	<ol style="list-style-type: none"> 1. Illumination shall not exceed an average of 0.6 footcandles.
Parking Area Lighting	Fixture Type - overhead Max Height - 28' Max Spacing - varies	<ol style="list-style-type: none"> 2. Illumination shall not exceed an average of 1.0 footcandles.
Special Effects Lighting	Fixture Type - varies Max Height - varies Max Spacing - varies	<ol style="list-style-type: none"> 1. Landscape lighting and lighting integrated with site infrastructure (e.g., monument signs at entrances) may be appropriate on a development-specific basis. 2. Other lighting fixtures may be used to provide illumination for landscape elements or to highlight unusual site features in an unobtrusive manner. See Figures X and X for examples of lighting fixtures that are integrated with landscape features. 3. Lighting shall be shielded as necessary to avoid glare to pedestrians, vehicles and adjacent sites. 4. Outlets or fixtures for effect lighting shall be installed in tree grates or otherwise integrated in an unobtrusive manner in plazas and courtyards.
Playfield Lighting	Not permitted	

* Lighting should be provided only to meet minimum desired illumination levels.

SIGNS

19.57.180 Signage.

A. Standards

1. Signs visible from off-site shall conform to the City of University Place Municipal Code (UPMC Chapter 19.75).
2. Temporary seasonal signs shall conform to the City of University Place Municipal Code (UPMC Chapter 19.75)
3. Concrete Monument Signs shall be provided at all main points of entrance to the Chambers Creek Properties. See figure below.
4. Trail Entrance Signs shall be provided at main points of entry.
5. Off-site Directional Signage shall be located as appropriate and shall comply with the City of University Place Municipal Code (UPMC Chapter 19.75 and UPMC 13.20).

B. Guidelines

1. Signage should be used to identify public and non-public site entrances.
2. Signage should be considered integral to architecture, as visually important as light fixtures, elevations, and other building elements.
3. Signage should achieve a balance, maximizing legibility without sacrificing the integrity of the design.



Concrete Monument Sign

19.57.190 Sign Lighting

A. Standard

1. Backlight letter, channel letters and external up or down lighting is allowed.
2. Exposed neon or backlit sign backgrounds are prohibited.
3. Raceways shall be hidden.

B, Guidelines

1. Lighting for signage at vehicle entrances to parking lots and building identification signage increases safety and visibility for the public.

19.57.200 Wall Signs

A. Standards

1. The area of all wall signs shall be less than or equal to 15 percent of the façade occupied by the use.
2. Wall signs shall be located only on a wall where public access is provided.
3. Signs on awnings are not allowed.

B. Guidelines

1. Wall signs should be visually compatible with the architecture of the building they are attached to.
2. Wall signs should be in keeping with the themes and messages of existing onsite signage within the CCPO

19.57.210 Projecting Signs

A. Standards

1. Projecting signs shall clear the sidewalk by a minimum of 8 feet.
2. A projecting sign shall not be larger than 20 square feet.
3. Project signs shall not project over 4 feet from the building.

B. Guidelines

1. Projecting signs should be creative and incorporate merchandise or services into the sign structure.

ARCHITECTURAL

19.57.220 Building Façade

A. Standard

1. Use only high quality materials on any building façades.
2. Divide horizontal façades into vertical segments not greater than 50 feet in width.
3. To articulate the horizontal primary building façade, vertical segments shall include two or more of the following architectural elements:
 - a. Columns
 - b. Mullions
 - c. Projections

d. Setbacks

e. Style

f. Material

4. Provide vertical façade articulation by including a cornices, lintel or header to separate the first floor and upper floors.
5. Integrate top to bottom building architecture.
6. Blank Walls, including walls distinguished only by changes in color are prohibited.

B. Guidelines

1. Primary, or main building facades which face high pedestrian or vehicular should have a higher level of detailing. Secondary façade faces may be simplified versions of the same detailing.
2. Although a change in the horizontal façade is required at least every 50 feet, shorter segments of 15 to 30 feet is recommended.
3. Balconies, trellises, railings, and similar architectural elements should be added to upper floors.
4. Murals, portals, artwork or landscaping maybe provided on a secondary building façade.

19.57.230 Projections

A. Standards

1. Projections less than eight feet above the ground elevation may project a maximum of 5 feet beyond the face of the building.
2. Projections shall not interfere with trees, utilities or other furnishings.
3. Individual AC Units and fire escape ladders shall not be permitted on the exterior of buildings.
4. Satellite dishes or antennas shall not be allowed on building facades, but may be located on the roof if screened.

19.57.240 Roof Designs and Materials

A. Standards

1. Building roofs shall be designed to minimize impacts on pedestrian views from higher elevations, and be covered with a non-reflective material.
2. Roofing materials visible from distances or ground level shall be finished with an attractive non-reflective material, including, but not limited to premium architectural shingles (wood and asphalt), copper (as accent), factory finished painted metal, and slate (natural and synthetic).
3. Contrasting roof flashing shall not be visible from the ground..

B. Guidelines

1. The use of green roofs, roof top courtyards and gardens are encouraged.

19.57.250 Building Colors

A. Standards

1. Colors natural to the Chambers Creek Properties and South Puget Sound, such as forest green, grey, beige, rusty red etc...are to be used as the primary colors for the exterior of buildings.
2. Bright and/or high contrast colors shall only be used as accent colors.

19.57.260 Building Materials

A. Intent

1. Building materials should relate visually to site and be native to the Pacific Northwest, whenever possible.
2. Durable, environmentally sensitive, locally available, non-toxic and/or recycled building materials should be utilized where feasible.

B. Standards

1. Buildings shall be constructed of non-reflective, non-glare producing materials.
2. Building materials and construction methods should support sustainability goals and practices of Pierce County and the City of University Place to the greatest extent possible and strive to reach a level of Gold under LEED.

19.57.270 Materials to Avoid

A. Intent

1. High maintenance or poor quality materials or materials which do not weather well in the northwest are to be avoided.
2. It is preferred that glass be integrated with other materials

B. Standards

1. Vinyl siding and synthetic stucco is prohibited.
2. Mirrored glass curtain walls are prohibited.
3. To take advantage of regional views, glass curtain walls are allowed as a secondary building façade, but shall not exceed 60% of the total building façade.
4. Painted Steel, metal or aluminum metal siding may only be used above 20 feet or on a second story, whichever is greater.
5. Unfinished concrete block is not allowed on a primary building facade

19.57.280 Bulk Regulations

A. Standards

1. Buildings within the CCPO will conform to the uses, square footage spaces, height and parking outlined in Table 8.
2. New buildings shall be setback a minimum of 25 feet from roads to preserve major view corridors.
3. Architectural embellishments that are not intended for human occupancy and are integral to the architectural style of the building, including spires, belfries, towers, cupolas, domes and roof forms whose area in plan is no greater than 25 percent of the first story plan area, may exceed building height up to 25 percent of the permitted building height.
4. Mechanical penthouses over elevator shafts, ventilator shafts, antennas, chimneys, fire sprinkler tanks or other mechanical equipment may extend up to 10 feet above the permitted building height; provided, that they shall be set back from the exterior wall of the building at least a distance that is equal to their height, or they shall be treated architecturally or located within enclosures with an architectural treatment so as to be consistent or compatible with the exterior design of the building facade.

Table 8 – Bulk Regulations

Use	Square Footage	Max. Height	Parking	Special Provisions
Restaurant	20,000	45'	100	<ol style="list-style-type: none"> 1. Parking should be combined with other site uses. 2. Square footage of restaurants may be broken into smaller increments ie. Two 10,000 square foot restaurants, one 6,000 square foot restaurant and two 7,000 square foot restaurants. 3. The clubhouse restaurant is not included within this square footage.
Lodging	100,000	45'	125	<ol style="list-style-type: none"> 1. Lodging is limited to a total of 124 units/rooms. 2. Lodging is to be small in scale with no more than three units linked together. 3. Small cottage/casita style lodging is preferred over multi-story structures, unless built into the existing topography. 4. Parking should be combined with other site uses.
Clubhouse	30,000	45'	120	<ol style="list-style-type: none"> 1. No more than 18 lodging units/rooms located within the clubhouse. 2. The clubhouse includes a pro-shop, restaurant(s), meeting space.
Maintenance/ Administrative	10,000	45'	20	
Golf Course Support Facilities	28,000	45'	48	<ol style="list-style-type: none"> 1. Parking is combined with other site uses.
Environmental Services Building	66,000	45'	150-200	
Environmental Education Center	16,000	45'	40-60	
Environmental Institute - Research and Conference Center	10,000	45'	25-50	
Environmental Institute – Research and Laboratory	10,000	45'	25	

*Includes practice facility, event pavilion, tournament facilities, pro-shop/starter shack

19.57.290 Auxiliary Spaces & Mechanical Equipment

A. Standards

1. Auxiliary spaces shall be integrated into overall building and site design so as to minimize visual prominence of these spaces.
2. Building service areas, such as garbage and recycling collection areas shall be screened with fences and/or vegetation.
3. Mechanical equipment shall be placed in areas that are obscured from view and stepped away from the roof edge to ensure being obscured.
4. Mechanical equipment shall be visually integrated with the design of the building, and shall be constructed of or screened by materials and colors that are compatible with adjacent buildings.
5. For exterior waste storage, storage areas shall be designed and constructed to meet the needs of the occupants, efficiency of pickup, and accessibility to occupants and collection companies.
6. Mechanical equipment such as antennas and satellite dishes shall be limited to a maximum of 60 feet, provided they are placed appropriately and are screened from view.

B. Guidelines

1. Screen auxiliary spaces and mechanical equipment from view.
2. Window wells should not be used for mechanical equipment such as air conditioners.

19.57.300 Retaining Walls/Guardrails

A. Standards

1. Blank concrete retaining walls or railings or “jersey barriers” are prohibited in public areas of the site.

B. Guidelines

1. Provide erosion protection and to prevent foundation settlement and unstable soils conditions.
2. Rock walls, retaining walls, and railings should be designed as any element of the overall site development and in visual accord with other elements in that area.
3. Decorative plantings, patterns, and public art are encouraged treatments for rock walls, retaining walls, and railings.